
**CITY OF KELOWNA
MEMORANDUM**

DATE: March 13, 2007
FILE NO.: Z07-0006

TO: CITY MANAGER

FROM: PLANNING AND DEVELOPMENT SERVICES DEPARTMENT

APPLICATION NO. Z07-0006

OWNER: WINDMILL VENTURES
LTD.

AT: 734 MARTIN AVE.

APPLICANT: PHILIP MACDONALD
ARCHITECT INC.

PURPOSE: TO REZONE THE SUBJECT PROPERTY FROM THE RU6 – TWO DWELLING HOUSING ZONE TO THE RM5 - MEDIUM DENSITY MULTIPLE HOUSING ZONE TO FACILITATE THE CONSTRUCTION OF A 5 STOREY APARTMENT BUILDING CONTAINING 41 RESIDENTIAL UNITS.

EXISTING ZONE: RU6 – TWO DWELLING HOUSING ZONE

PROPOSED ZONE: RM5 – MEDIUM DENSITY MULTIPLE HOUSING

REPORT PREPARED BY: DANIELLE NOBLE

1.0 RECOMMENDATION

THAT Rezoning Application No. Z07-0006 to amend City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 5, District Lot 138, O.D.Y.D. Plan 1346, located on Martin Avenue, Kelowna, B.C. from the RU6 – Two Dwelling Housing zone to the RM5 – Medium Density Multiple Housing zone, be considered by Council;

AND THAT the zone amending bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the zone amending bylaw be considered subsequent to the requirements of the Works & Utilities Department being completed to their satisfaction;

AND THAT final adoption of the zone amending bylaw be considered in conjunction with Council's consideration of the accompanying Development permit and Development Variance Permit for the subject property and 1419 Richter Street.

2.0 SUMMARY

The western lot fronting Richter Street currently is zoned RM5 and the applicant is proposing to rezone the eastern subject property to RM5 - Medium Density Multiple Dwelling Housing zone. Lot consolidation is pending land use approvals. The proposed project anticipates a 5 storey apartment building containing 41 residential units. Building setbacks, number of storeys, and site coverage variances are being sought through the concurrent Development Permit/Development Variance Permit application process.

3.0 ADVISORY PLANNING COMMISSION

At a meeting held on February 13, 2007 the Advisory Planning Commission reviewed this application, and the following recommendation was passed:

THAT the Advisory Planning Commission supports Rezoning Application Z07-0006 for 734 Martin Avenue, Lot 5, Plan 1346, D.L. 138, ODYD, by Phillip MacDonald Architect (P. MacDonald), to rezone from the RU6-Two Dwelling Housing zone to the RM5-Medium Density Multiple Housing zone in order to create a 41 unit, 4 storey condominium building.

**Note: the number of storeys for the building since the APC meeting has been interpreted to be 5 storeys as per the City's Inspection Services Department.*

4.0 THE PROPOSAL

The applicant is proposing to construct a 41 unit apartment building. The two subject properties have a combined area of 3,006 m² (0.74 ac). Lot consolidation of the subject properties is contingent on land use approvals. Previous applications for 1419 Richter Street have not been proceeded with and the property has since changed ownership. The additional lot increases the overall site area greater than originally proposed, and provides additional design possibilities.

The proposed building aims to blend in with the redevelopment character of similar projects within the downtown centre. The architectural design utilizes a conventionally shaped building proposed to be 5 storeys in height including a partially below-grade parkade. The development project would provide for a convenient urban lifestyle, both incorporated through interior design features and close proximity to urban amenities.

The application meets the requirements or requires variances of the proposed RM5 - Medium Density Multiple Housing Zone as follows:

CRITERIA	PROPOSAL	RM5 ZONE REQUIREMENTS
Site Area (m ²)	3,006m ²	1,400m ²
Site Width (m)	34.79m	30.0m
Site Depth (m)	68.14m	30.0m
Site Coverage (%)	45%* , 51%	40% or 60% including buildings, driveways, and parking
F.A.R.	1.3	1.1 (max) + 0.2 (bonus for required parking below habitable space)
Height (m)	16.5m	16.5m
Storeys (#)	5 storeys*	4 storeys
Setbacks (m)		
- Front (m)	6.0m	6.0m
- North side (m)	4.5m*	7.5m (bldgs in excess of 2 ½ storeys)
- South side (m)	7.5m	7.5m (bldgs in excess of 2 ½ storeys)
- Rear (m)	9.0m	9.0m
Private open space	1,019m ²	730m ² (15m ² per 1 bedroom dwelling; 25m ² per dwelling with more than 1 bedroom)
Parking Space Size	2.5m x 6.0m 3.0m x 6.0m	2.5m x 6.0m 3.0m x 6.0m
Parking Stalls (#)	56 Parking spaces (including 6 Visitor stalls)	55 Parking spaces (including 6 Visitor stalls)
Bicycle Stalls (#)	24 spaces	20 + 4 = 24 (0.5 per dwelling unit Class I, 0.1 per dwelling unit Class II)

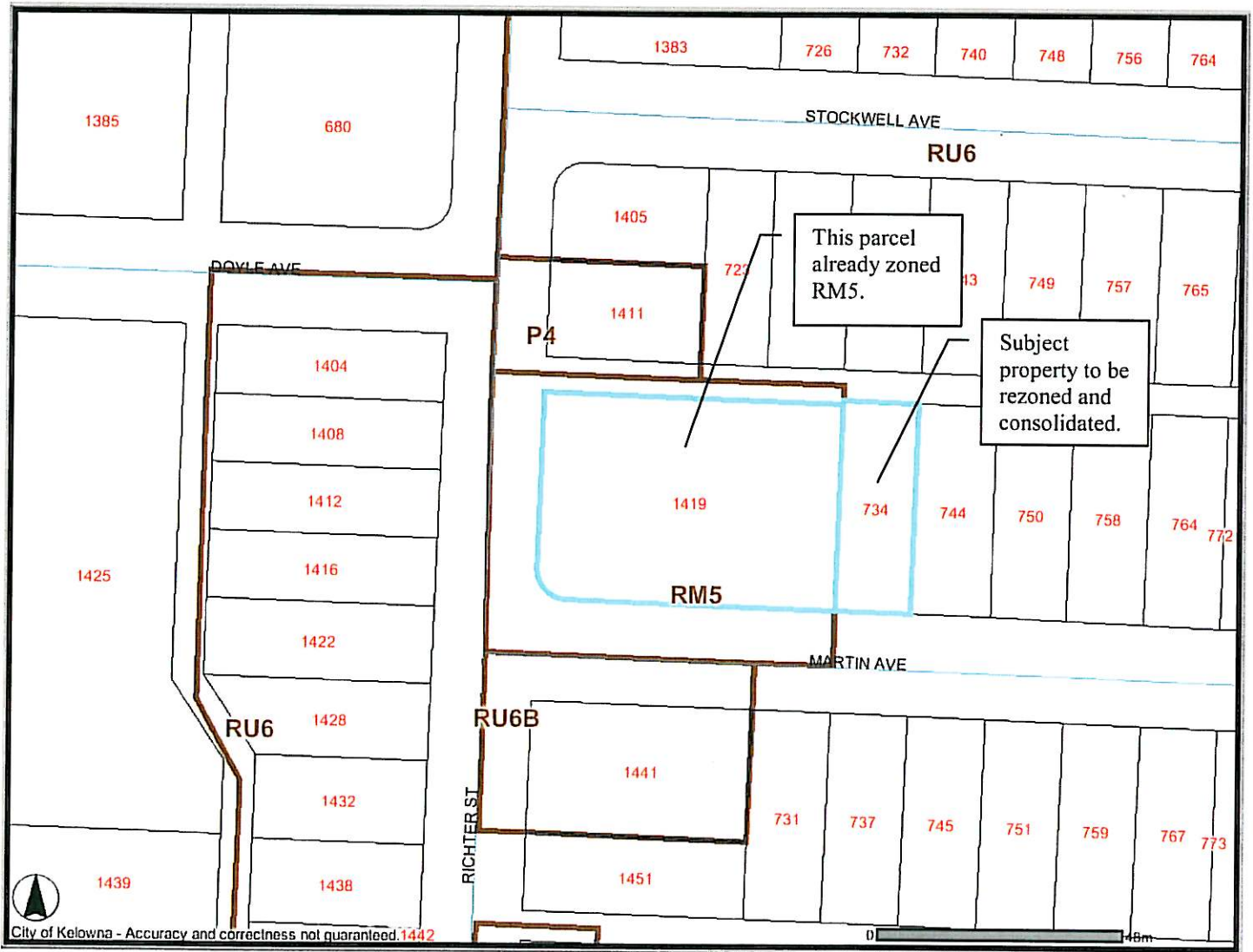
* = variance required

4.2 Site Context

The subject properties are located at the corner of Martin Avenue and Richter Street. Adjacent zones and uses are:

- North - RU6 & P4 – Two Dwelling Housing and Utilities
- East - RU6 – Two Dwelling Housing
- South - RU6 & RU6B– Two Dwelling Housing (with Boarding or Lodging House)
- West - RU6 –Two Dwelling Housing

4.3 Site Location Map



4.4 Development Potential

The purpose of the RM5 – Medium Density Multiple Housing zone is to provide a zone primarily for medium density apartments.

4.5 Current Development Policy

4.5.1 City of Kelowna Strategic Plan

The City of Kelowna Strategic Plan encourages the development of a more compact urban form by increasing densities through infill and redevelopment within existing urban areas and to provide for increased densities within future urban areas. The plan also encourages redeveloping transitional areas to increase densities for more efficient use of existing land. Also recommended is that the City will emphasize a density of development higher than presently occurring to allow for more efficient use of the land.

4.5.2 Kelowna Official Community Plan

The proposal is consistent with the future land use designation of Multiple Unit Residential – Medium Density in the Official Community Plan. Preference will be given to supporting new housing in areas where required services already exist or can be provided most economically and efficiently. Additionally, policy 8.36 encourages development to contribute to the City's goal of over the 2000-2020 timeframe, having 53% of new residential units be in the form of apartments, townhouses (and cluster housing), or other multiple unit buildings.

Additionally, to develop a more compact urban form that maximizes the use of existing infrastructure, by increasing densities through development, conversion, and re-development within existing areas, particularly in designated Urban Centres, and by providing for higher densities within future urban areas. Encourage development to proceed in a logical, sequential order, concurrently with availability of required urban services.

With respect to objectives for multiple unit residential development, all projects should be an appropriate response to its physical context, or anticipated future context where an area is designated for increased density or land use transition in the OCP. Design criteria for multiple unit development area as proposed is generally consistent with the guidelines that address landscaping, relationship to the street, building massing, end walls, view corridors, and crime prevention.

However, as proposed the applicant is not proposing to provide affordable, special needs, or rental housing.

5.0 TECHNICAL COMMENTS

5.1 Fire Department

Fire department access, fire flows, and hydrants as per the BC Building Code and City of Kelowna Subdivision Bylaw. Engineered fire flows will determine if present hydrant location, number of hydrants, and hydrant volume will be adequate. After the bridge is finished any access to hydrants on the west side of Richter may be compromised. The access to and through the lane and parkade entrance is to meet BCBC width and height and surfacing requirements. No parking signs; may be required.

5.2 Inspections Department

Possible high water table area. Ensure 1st floor not greater than 2m above grade. Storage room not permitted to open into lobby.

5.3 Works and Utilities

Requirements for off-site works for this subject property will be addressed at the Development Permit stage in our reports under files DP07-0007 and DVP07-0008.

6.0 PLANNING AND DEVELOPMENT SERVICES DEPARTMENT

The Planning and Development Services Department generally is supportive of the proposed development of the subject property. Importantly, the subject property is situated within the downtown area and supported by existing infrastructure to facilitate the proposed project. Other surrounding land uses are single family in nature, although the future land use designation forecasts this area to be redeveloped into medium density multiple unit residential. Given that the subject properties are on a corner location, the impact on adjacent properties is lessened and offers a reasonable transition into the adjacent single family character.

The proposal to construct an apartment building is considered congruent with the land use designation as identified in the OCP. Staff notes that the proposed development is consistent with the guidelines for multiple dwelling units, and the project has improved considerably over the original application.

The proposed building has reasonable architectural detailing with a unique building entrance offering strong visual interest. Building form and character, in addition to the variances being sought will be addressed at a subsequent stage when the Development Permit and Variance Permits are advanced for consideration at the time of final adoption of the zone amending bylaw.

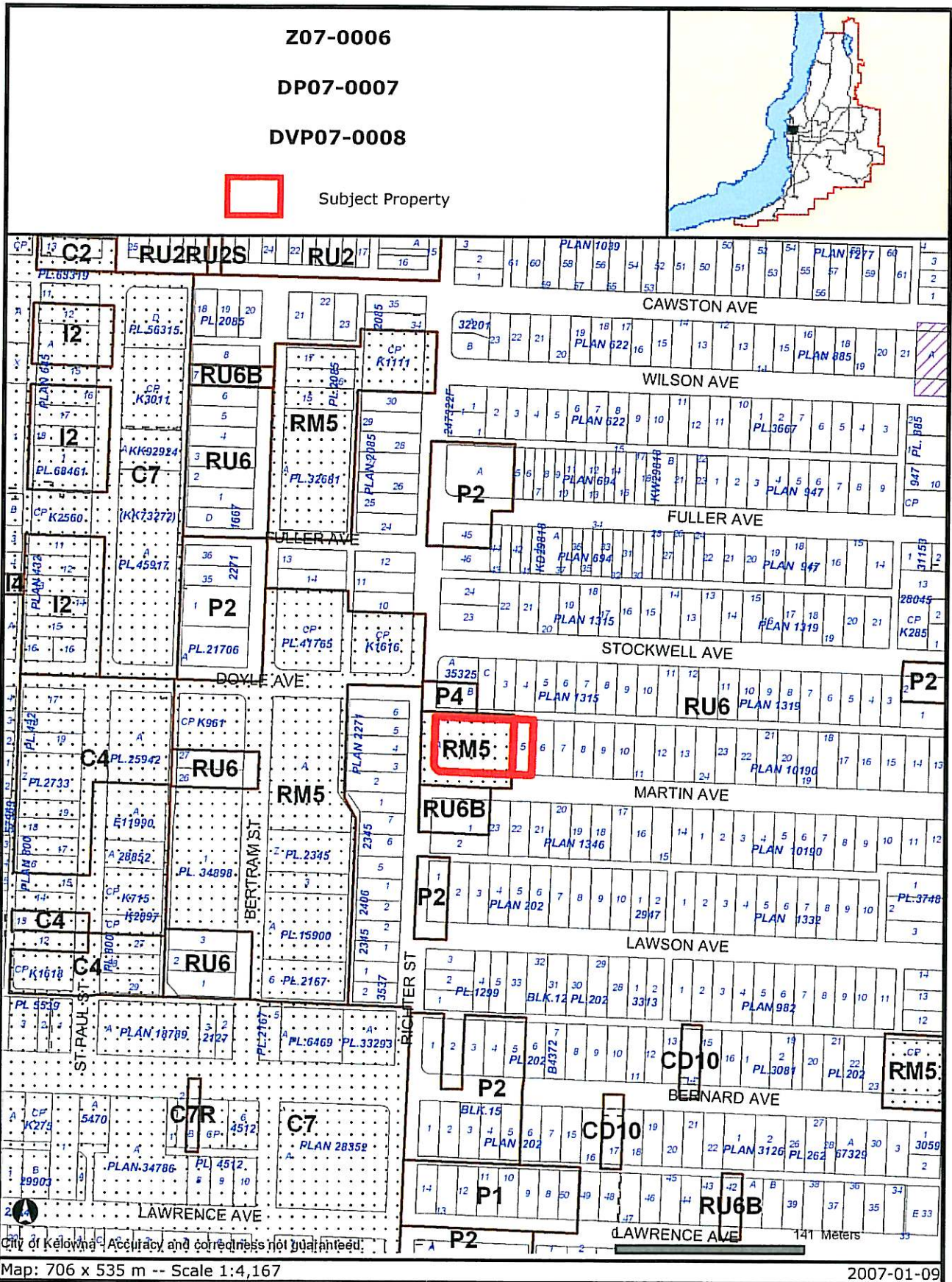
for 
Shelley Gambacort
Acting Development Services Manager

Approved for inclusion 
Mary Pynenburg, MCIP, MRAIC
Director of Planning & Development Services

SG/DN
Attach.

ATTACHMENTS

- **Location of subject property**
- **Color Board**
- **Site plan**
- **Floor Plans**
- **Elevations**



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.

PHILIP MACDONALD ARCHITECT INC
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 KELLOWNA BC
 CANADA V1W 4J7
 TEL (250) 784 4187
 FAX (250) 784 4887
 PHILIP@PHILIPMACDONALD.COM

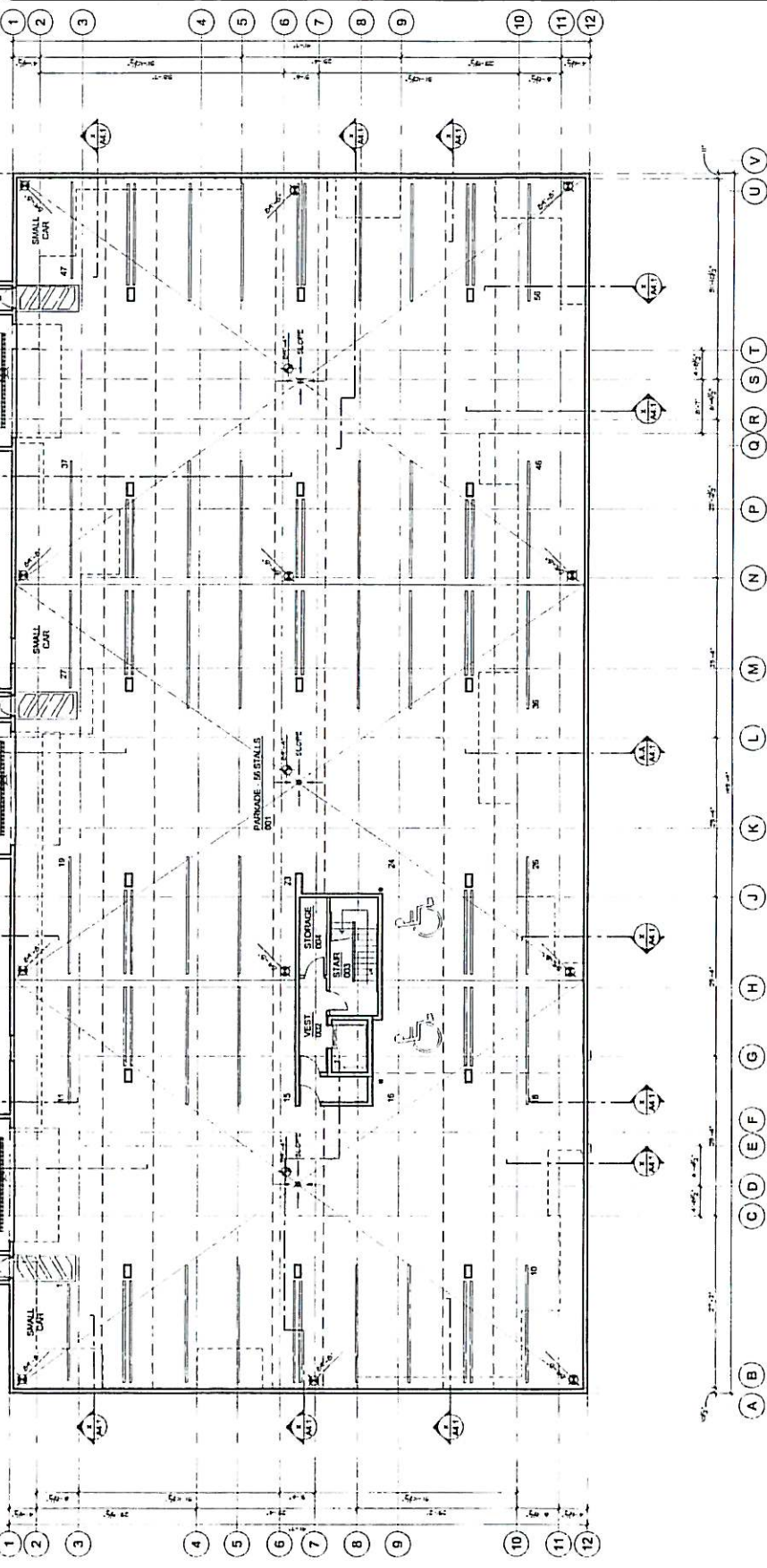
GENERAL CONDITIONS:
 1. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 2. The client is responsible for providing all necessary information and data for the design.
 3. The client is responsible for providing all necessary site information and data for the design.
 4. The client is responsible for providing all necessary site information and data for the design.
 5. The client is responsible for providing all necessary site information and data for the design.

ISSUED FOR:
 13-01-08 Based for D.P.
 - Based for Foundation
 - Based for Building Permit
 - Based for Trailer

PROJECT TITLE:
Wartin Lofts
 700 Martin Avenue
 Kelowna, B.C.
 Fort Winifred Ventures
 Ltd.

PARKADE PLAN

SHEET NUMBER:
A1.1



**PHILIP
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FAX (250) 764 4887
PH:ARCHITECT@MACDONALD.COM

GENERAL CONDITIONS:
 1. The drawings are to be used for the construction of the building and are not to be used for any other purpose.
 2. The drawings are to be used in accordance with the specifications and standards of the profession.
 3. The drawings are to be used in accordance with the contract documents.
 4. The drawings are to be used in accordance with the laws and regulations of the jurisdiction.
 5. The drawings are to be used in accordance with the professional standards of the architect.

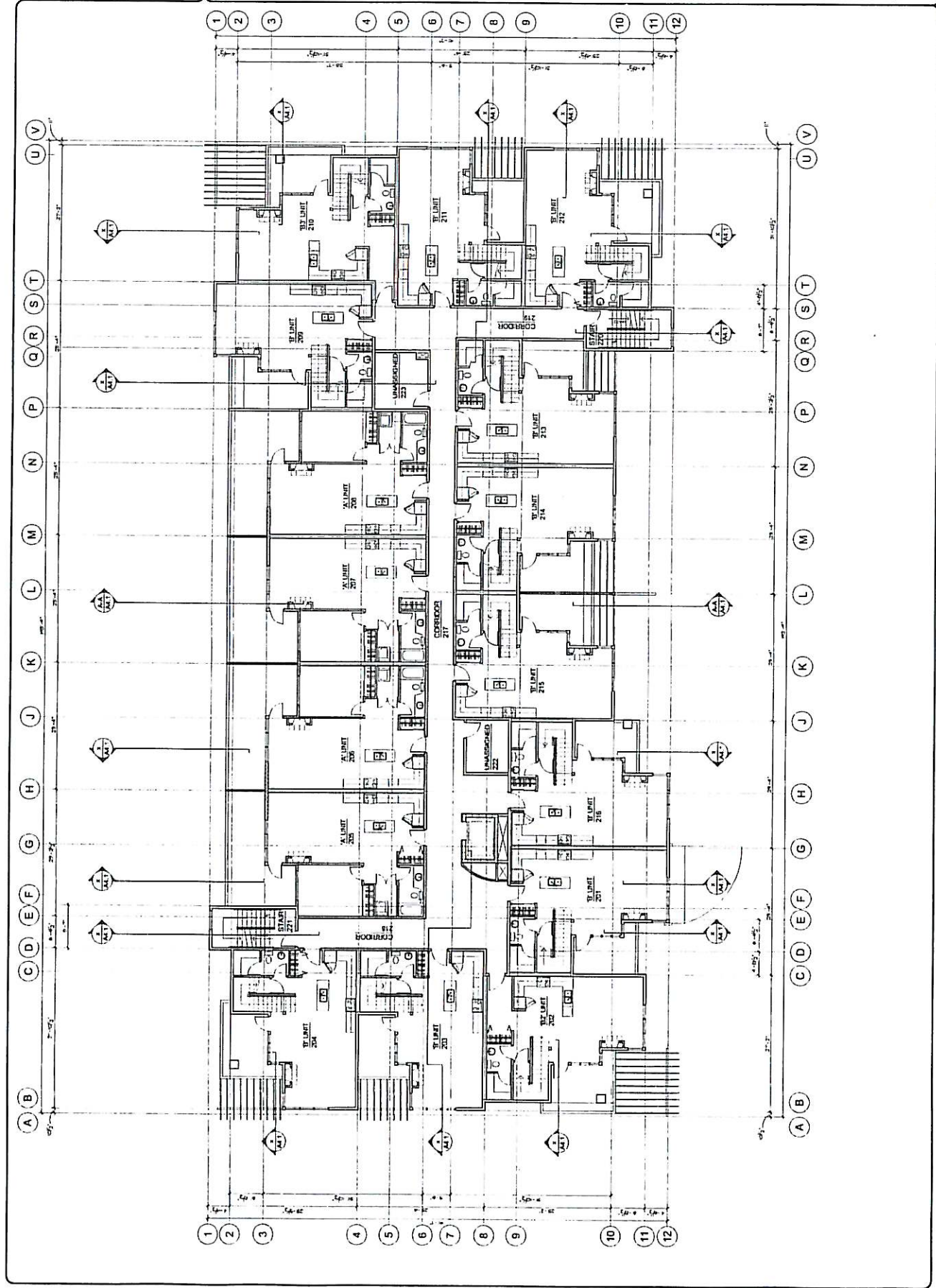
DATE	ISSUED FOR:
	1. Issued for P.P.
	2. Issued for Tender
	3. Issued for Building Permits
	4. Issued for Construction

PROJECT TITLE:
'Martin Lofts'
 700 Martin Avenue
 Kelowna, B.C.
 Perry Windmill Ventures
 Ltd.

**SECOND
FLOOR PLAN**

SHEET NUMBER:
A1.3

DATE: 21-10-07
 DRAWN BY: [Name]
 CHECKED BY: [Name]



DATE: 13-06-07
 DESIGNED FOR: [Blank]
 DRAWN BY: [Blank]
 CHECKED BY: [Blank]
 PROJECT NO: [Blank]
 SHEET NO: [Blank]

GENERAL CONDITIONS:
 1. The architect is not responsible for the accuracy of the information provided by the client or for the accuracy of the information provided by the client's consultants.
 2. The architect is not responsible for the accuracy of the information provided by the client or for the accuracy of the information provided by the client's consultants.
 3. The architect is not responsible for the accuracy of the information provided by the client or for the accuracy of the information provided by the client's consultants.

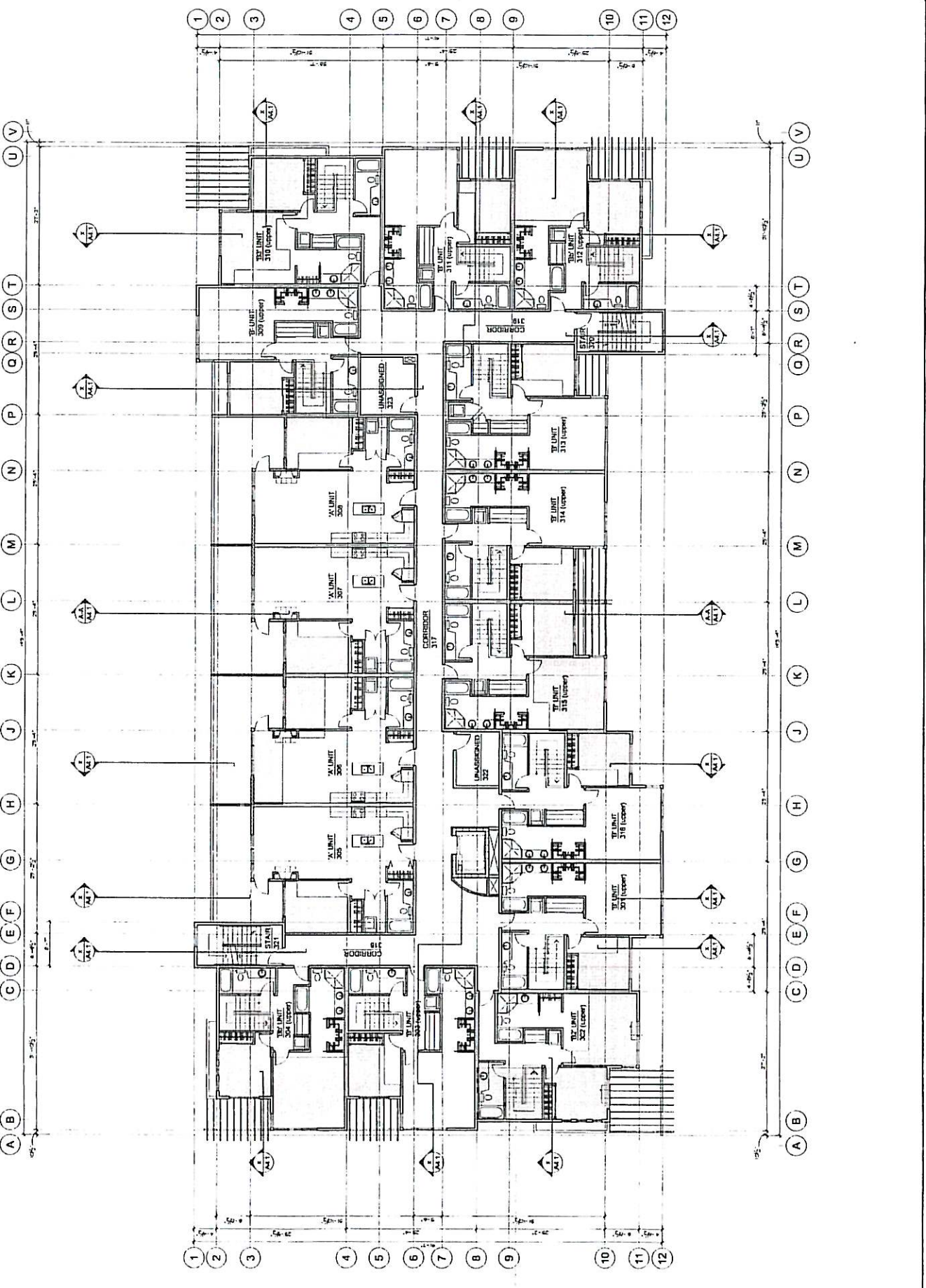
ARCHITECT'S SEAL:
 [Blank]

PROJECT TITLE:
'Martin Lofts'
 700 Martin Avenue
 Kelowna, B.C.
 Per: Whitworth Ventures Ltd.

**THIRD
FLOOR PLAN**

DATE: 13-06-07
DESIGNED FOR: [Blank]
DRAWN BY: [Blank]
CHECKED BY: [Blank]
PROJECT NO: [Blank]
SHEET NO: [Blank]

A1.4



GENERAL CONDITIONS:
 1. Drawings are to be used in accordance with the contract documents.
 2. The contractor shall be responsible for obtaining all necessary permits.
 3. The contractor shall be responsible for coordinating all trades.
 4. The contractor shall be responsible for protecting all existing conditions.
 5. The contractor shall be responsible for maintaining access to all adjacent properties.
 6. The contractor shall be responsible for maintaining the safety of the work area.
 7. The contractor shall be responsible for maintaining the cleanliness of the work area.
 8. The contractor shall be responsible for maintaining the security of the work area.
 9. The contractor shall be responsible for maintaining the integrity of the drawings.

ISSUED FOR:

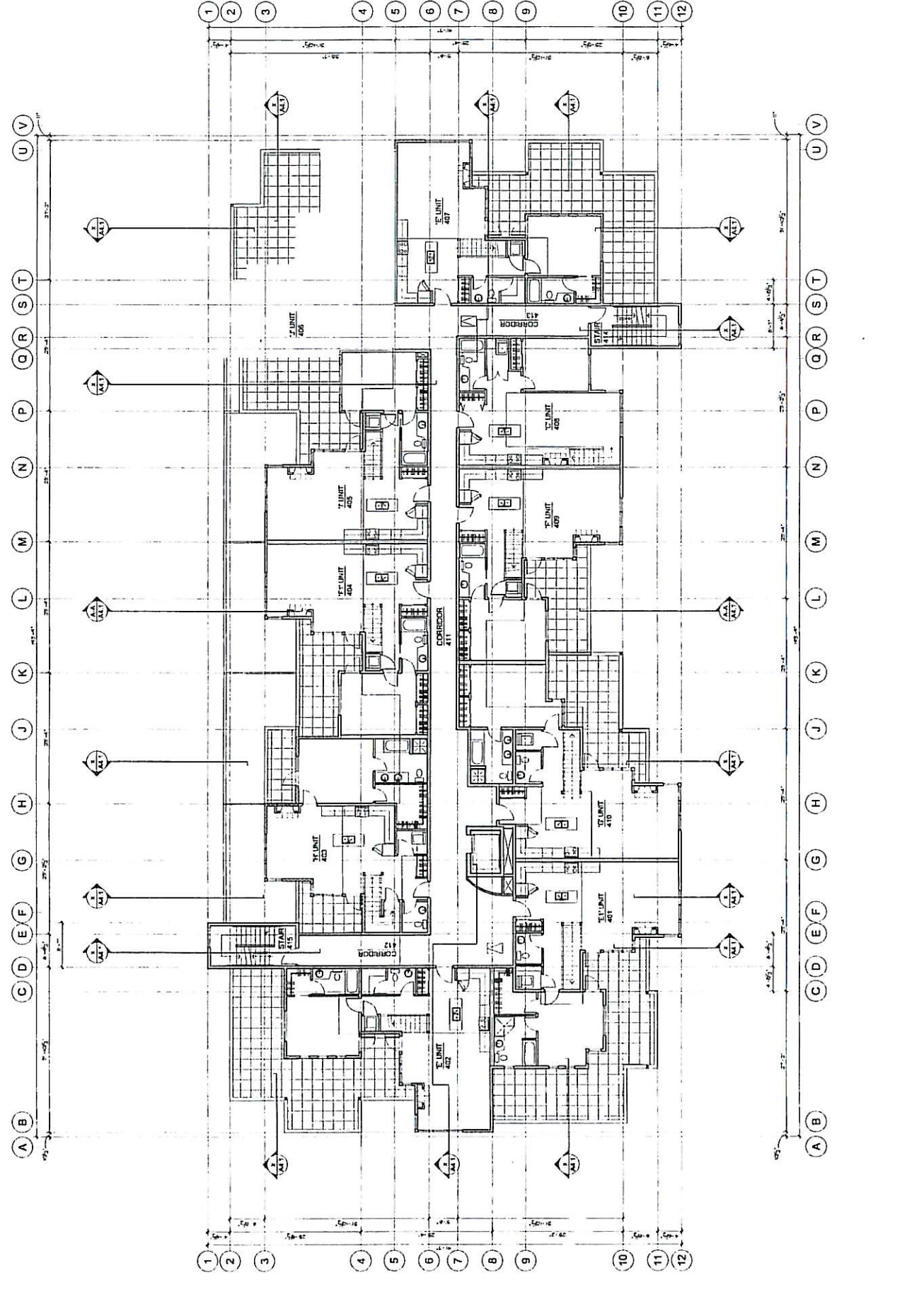
DATE:	ISSUED FOR:
01-08-06	Issued For EIP
	Issued For Foundation
	Issued For Quality Permit
	Issued For Tender

PROJECT TITLE:
'Martin Lofts'
 700 Martin Precinct
 Kelowna, B.C.
 Port Winchell Ventures
 Ltd.

SHEET TITLE:
FOURTH FLOOR LOWER LEVEL

CONTRACT AGREEMENT: The drawings are prepared in accordance with the contract documents. The contractor shall be responsible for obtaining all necessary permits and for coordinating all trades. The contractor shall be responsible for protecting all existing conditions and for maintaining access to all adjacent properties. The contractor shall be responsible for maintaining the safety of the work area and for maintaining the cleanliness and security of the work area. The contractor shall be responsible for maintaining the integrity of the drawings.

Job No: 250-000001
 Date: 25/08/07
 Scale: 1/8" = 1'-0"
 Drawn: J.R. / J.A.
 Checked: J.R. / J.A.
 SHEET NUMBER: **A1.5**



SITE NORTH



GENERAL CONDITIONS

Check and refer to related drawings and specifications for full details of construction. All work shall be in accordance with the Ontario Building Code and the National Building Code of Canada. The drawings shall be used as a guide only. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for the accuracy of the information provided on this drawing. The contractor shall be responsible for the accuracy of the information provided on this drawing.

ARCHITECT SEAL

DATE: ISSUED FOR:
15-06-08 Issued for P.P.
Issued for Foundation
Issued for Building Permit
Issued for Exterior

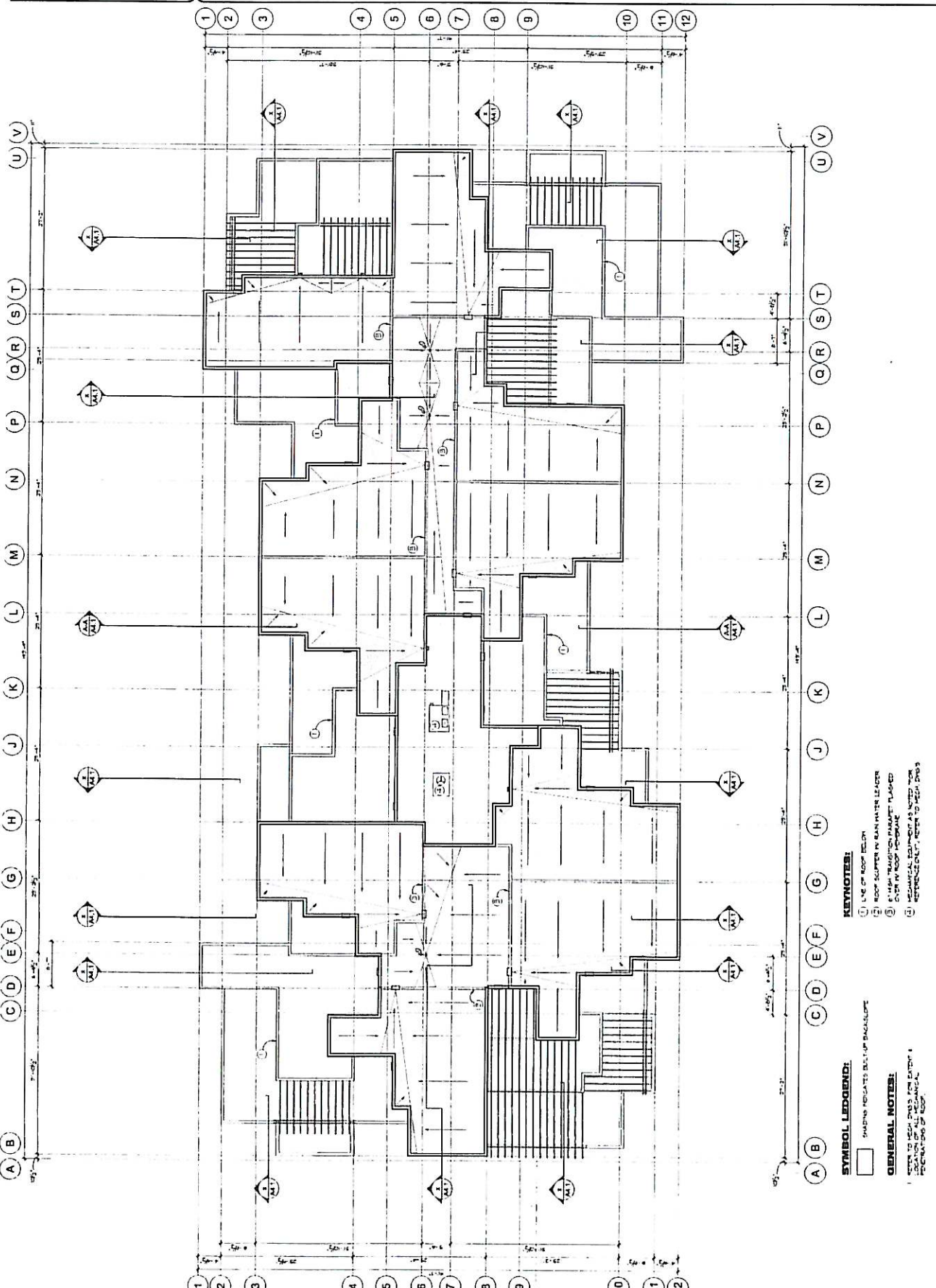
DATE: REVISION:
1 2 3 4 5 6 7 8 9 10 11 12

PROJECT TITLE:
'Martin Lofts'
700 Bessville Avenue
Scarborough, Ont.
Ferry Westside Warehouse
Site.

SHEET TITLE:
ROOF PLAN

JOB No.: 008-100-014
Date: 23-10-07
Scale: 1/4" = 1'-0"
Drawn: [Signature]
Checked: [Signature]
Sheet Number: 10

A1.7



KEYNOTES:

- 1 LINE OF ROOF BEAM
- 2 ROOF SLURF IN RAIN WATER LEADER
- 3 4" HIGH TRANSITION PARAPET FLASHING OVER IN ROOF MEMBRANE
- 4 MECHANICAL EQUIPMENT AS NOTED WITH REFERENCE TO FLOOR TO BE SET 2" HIGHER

SYMBOL LEGEND:

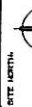
SHADING INDICATES BUILD UP BALCONY

GENERAL NOTES:

- 1 CHECK TO BEAL, PINS FOR ENTRY & PENETRATION OF ROOF.

GENERAL NOTES:
1. Client and Architect agree that the Architect is not responsible for the structural integrity of the building or the safety of the building's occupants. The Architect's responsibility is limited to the design of the building's exterior and interior spaces, and the building's systems and equipment. The Architect shall not be held responsible for any damage to the building or its contents, or for any injury to persons or property, arising from the use of the building, or from any defect in the building's structure, or from any failure of any system or equipment, or from any other cause, whether or not such damage, injury, or loss could have been avoided by the exercise of reasonable care and skill by the Architect.

ARCHITECT SEAL:



DATE:	ISSUED FOR:
	Issued for D.P.
	Issued for Permits
	Issued for Building Permit
	Issued for Tender

#	DATE:	REVISIONS:

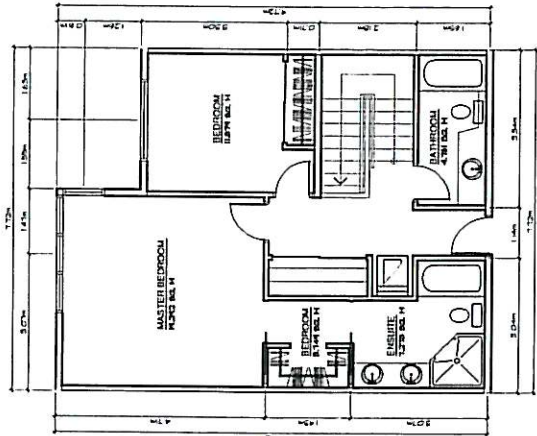
PROJECT TITLE:
'Martin Lofts'
700 Martin Avenue
Kelowna, B.C.
Patt Watson Architects
Ltd.

SHEET TITLE:
UNIT PLANS

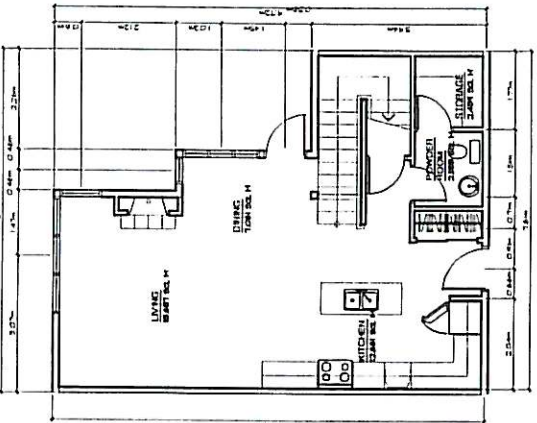
Contractor Attention: The owner is responsible for the structural integrity of the building and the safety of the building's occupants. The Architect's responsibility is limited to the design of the building's exterior and interior spaces, and the building's systems and equipment. The Architect shall not be held responsible for any damage to the building or its contents, or for any injury to persons or property, arising from the use of the building, or from any defect in the building's structure, or from any failure of any system or equipment, or from any other cause, whether or not such damage, injury, or loss could have been avoided by the exercise of reasonable care and skill by the Architect.

Job No:	0604-000000
Drawn:	JLC
Scale:	1/8" = 1'-0"
Checked:	BP / AS
Sheet:	BP

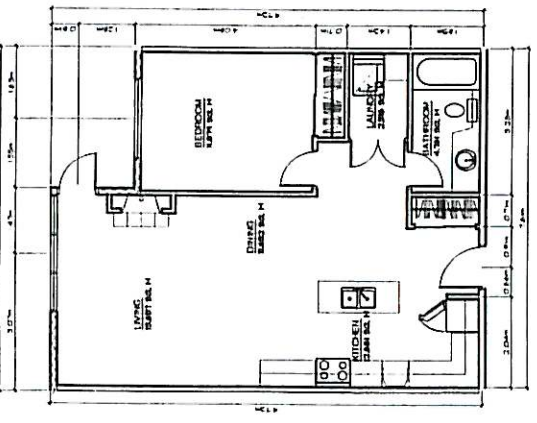
A2.1



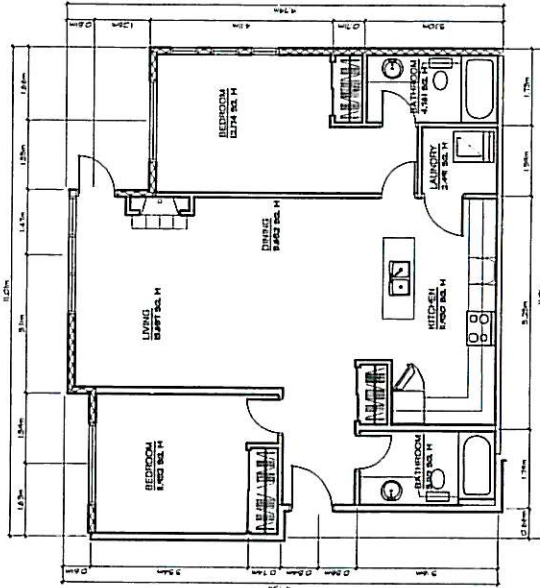
UPPER



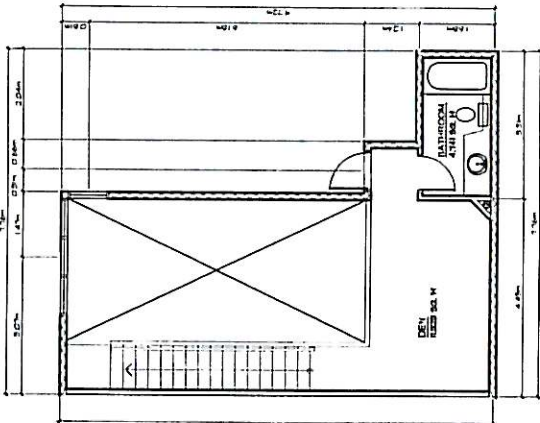
LOWER



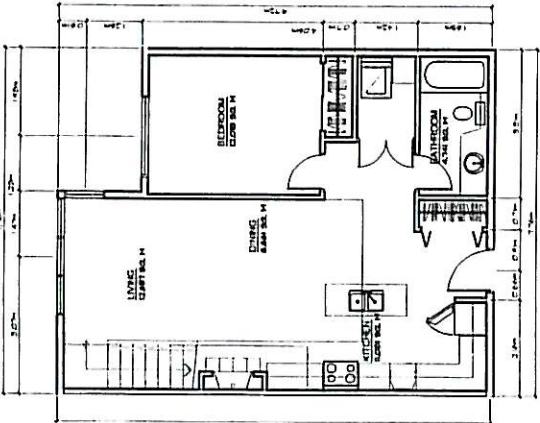
LOWER



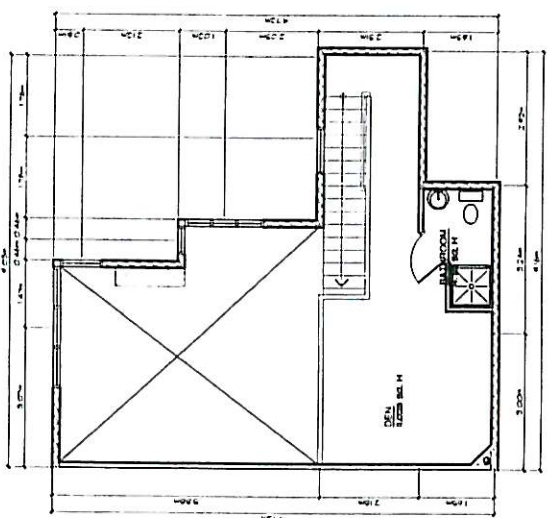
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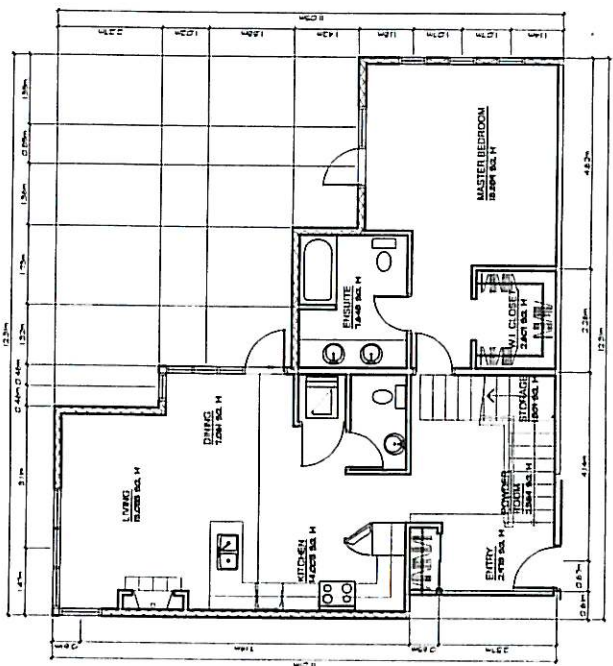
UPPER



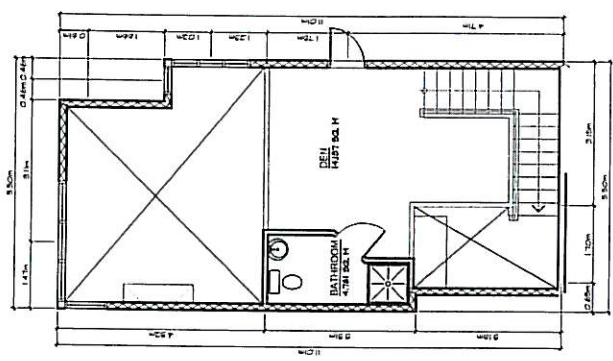
LOWER



UPPER



LOWER



UPPER

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PHILIP@MACDONALDARCHITECTURE.COM



DITF NORTH

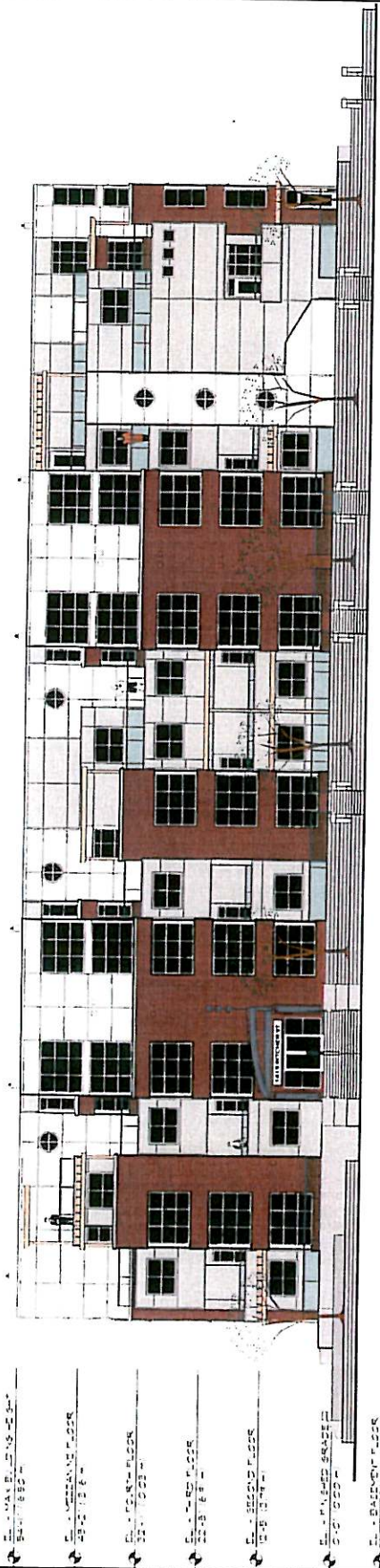
ARCHITECT SEAL

DATE	SUBJECT / FOR
12-08-2014	Issued for RFP
01-08-2015	Issued for Client's Use Contract Review
02-08-2015	Issued for Building Permit
03-08-2015	Issued for Tender

PROJECT TITLE
Martin Ave.

SHEET TITLE
**COLOURED
BUILDING
ELEVATION**

DATE	NO.	BY	CHKD.
12-08-2014	01	PHILIP MACDONALD	PHILIP MACDONALD
01-08-2015	02	PHILIP MACDONALD	PHILIP MACDONALD
02-08-2015	03	PHILIP MACDONALD	PHILIP MACDONALD
03-08-2015	04	PHILIP MACDONALD	PHILIP MACDONALD



SOUTH (MARTIN AVE.) ELEVATION

- 1 - 1st FLOOR
- 2 - 2nd FLOOR
- 3 - 3rd FLOOR
- 4 - 4th FLOOR
- 5 - 5th FLOOR
- 6 - 6th FLOOR
- 7 - 7th FLOOR
- 8 - 8th FLOOR
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- 95 - 95th FLOOR
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- 98 - 98th FLOOR
- 99 - 99th FLOOR
- 100 - 100th FLOOR

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WILLOWDALE, ONT
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FAX (416) 764 4887
PHILIP@MACDONALDARCHITECT.COM

DATE NORTH



PROJECT: WEST (RITCHIE ST.) ELEVATION
DATE: 10/15/11
DRAWN BY: J. BROWN
CHECKED BY: P. MACDONALD
SCALE: 1/8" = 1'-0"

ARCHITECT SEAL

DATE	ISSUED FOR
10-15-11	Issued For RFP
	Issued For Owner's Use
	Contract Review
	Issued For Building Permit
	Issued For Tender

#	DATE	REVISION

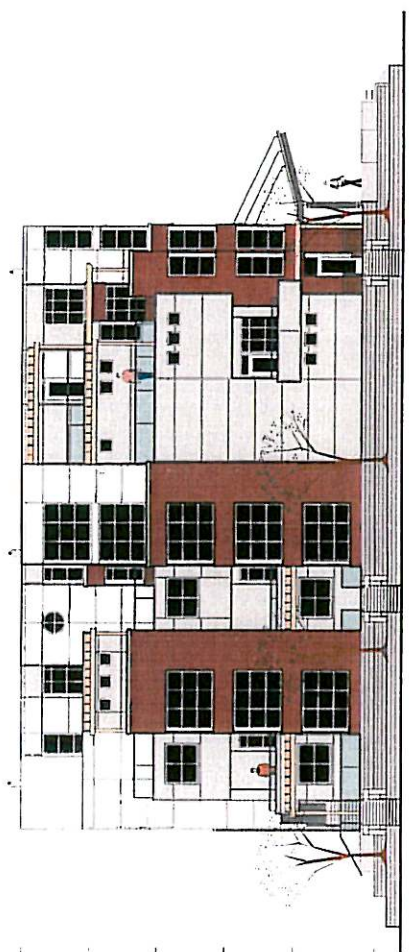
PROJECT TITLE

Martin Ave.

SHEET TITLE

COLOURED
BUILDING
ELEVATION

JOB NO.	DATE



WEST (RITCHIE ST.) ELEVATION

- 1. MAIN FLOOR 0'-0" TO 12'-0"
- 2. MEZZANINE FLOOR 12'-0" TO 15'-6"
- 3. PENETRATIONS 15'-6" TO 18'-0"
- 4. 2ND FLOOR 18'-0" TO 24'-0"
- 5. 3RD FLOOR 24'-0" TO 30'-0"
- 6. 4TH FLOOR 30'-0" TO 36'-0"
- 7. BASEMENT FLOOR 0'-0" TO -8'-0"

SITE NORTH



GENERAL CONDITIONS:

Scale and notes on this drawing and on the contract documents shall govern in the event of any conflict. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals.

ARCHITECT SEAL:

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GENERAL CONDITIONS
Check and verify all notes shown and
specifications. The contractor shall be
responsible for any errors or omissions
in the drawings and specifications.
The drawings shall be used for information
only. The contractor shall be responsible
for any errors or omissions in the
specifications. The contractor shall be
responsible for any errors or omissions
in the drawings and specifications.

ARCHITECT SEAL:

DATE: ISSUED FOR:

1-18-2010 Issued for EP

1-18-2010 Issued for Foundation

1-18-2010 Issued for Building Frame

1-18-2010 Issued for Interior

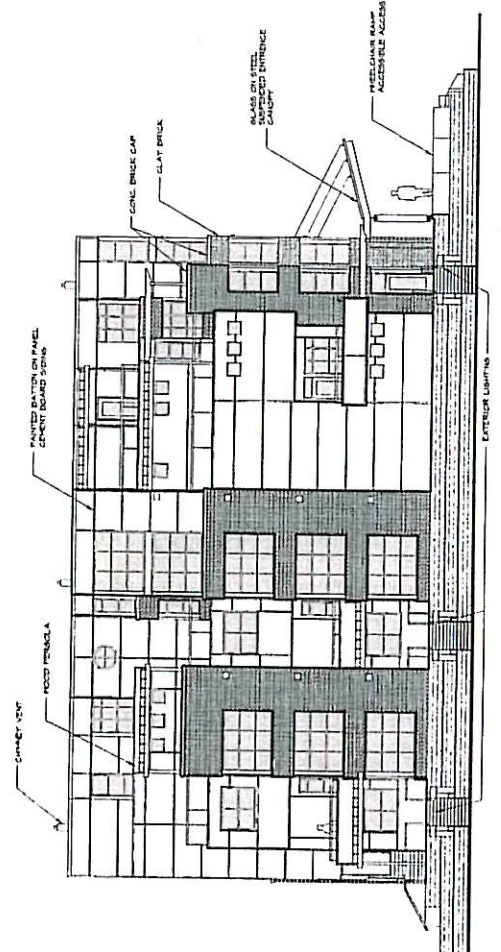
DATE: REVISION:

PROJECT TITLE:
'Martin Loftis'
700 North Avenue
Kelowna, B.C.
Parr Windmill Ventures
Ltd.

SHEET TITLE:
**BUILDING
ELEVATIONS**

CONTRACTOR: [Blank]
DATE: [Blank]
SCALE: [Blank]
DRAWN: [Blank]
CHECKED: [Blank]

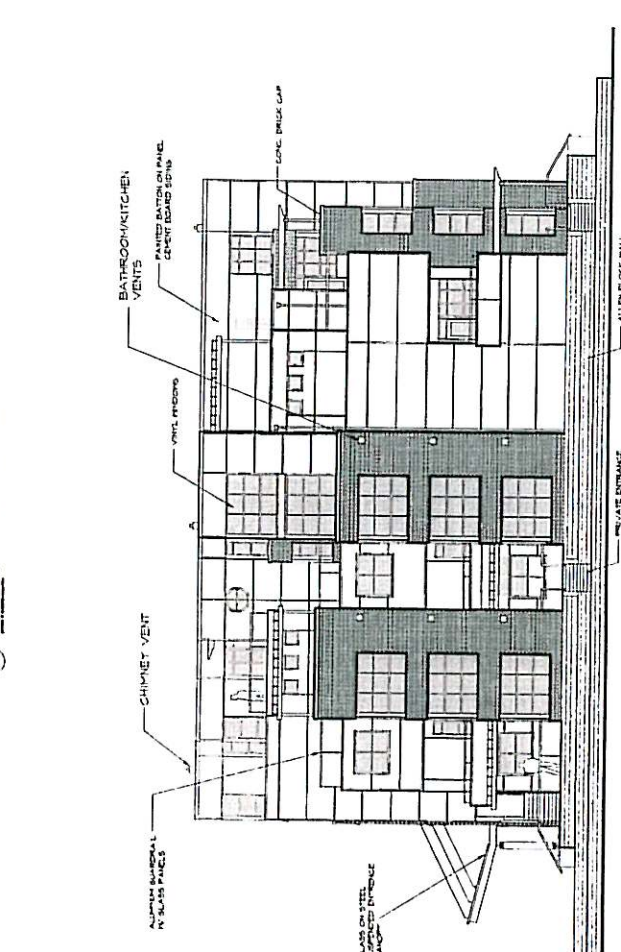
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2 WEST (RITCHIE ST.) ELEVATION

- 1. - MAIN FLOOR LEVEL 31'-11 1/2" (9.73 m)
- 2. - SECOND FLOOR LEVEL 27'-0" (8.23 m)
- 3. - THIRD FLOOR LEVEL 22'-0" (6.71 m)
- 4. - MEZZANINE FLOOR LEVEL 17'-0" (5.18 m)
- 5. - FINISH FLOOR LEVEL 12'-0" (3.66 m)
- 6. - FINISH GRADE LEVEL 0'-0" (0.00 m)
- 7. - FINISH GRADE LEVEL 0'-0" (0.00 m)
- 8. - FINISH GRADE LEVEL 0'-0" (0.00 m)
- 9. - FINISH GRADE LEVEL 0'-0" (0.00 m)
- 10. - FINISH GRADE LEVEL 0'-0" (0.00 m)

3 EAST ELEVATION



4 EAST ELEVATION

- 1. - MAIN FLOOR LEVEL 31'-11 1/2" (9.73 m)
- 2. - SECOND FLOOR LEVEL 27'-0" (8.23 m)
- 3. - THIRD FLOOR LEVEL 22'-0" (6.71 m)
- 4. - MEZZANINE FLOOR LEVEL 17'-0" (5.18 m)
- 5. - FINISH FLOOR LEVEL 12'-0" (3.66 m)
- 6. - FINISH GRADE LEVEL 0'-0" (0.00 m)
- 7. - FINISH GRADE LEVEL 0'-0" (0.00 m)
- 8. - FINISH GRADE LEVEL 0'-0" (0.00 m)
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